

SCARGILL
MANN & CO

EST. 1995



64 Brayfield Road

Littleover, Derby, DE23 6GT

£325,000



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GENERAL INFORMATION

THE PROPERTY

Set in this mature residential area is this detached bungalow offering flexible accommodation, whilst enjoying an impressive corner plot.

The bungalow offers gas centrally heated and double glazed accommodation with an entrance hallway, lounge/diner, fitted kitchen, two good size bedrooms, an occasional guest bedroom/study/dining room, and shower room.

Outside is an extensive frontage, a driveway and garage. To the side is a large patio area and to the rear a small lawn with shrub borders.

LOCATION

Littleover offers an excellent range of local amenities, including a supermarket, post office, bakery, eateries, beauty salons, hairdressers, doctors and dentists. There is a range of recreational facilities, including the local tennis club off Brayfield Road, Cricket and Tennis Club, along with Mickleover Golf Course. There is a regular public bus service into the Derby city centre where further shopping and leisure facilities can be found.

For those requiring travel, there is fast access to the A38 and A50 leading to the further motorway network beyond and giving access to Nottingham, Leicester, Birmingham, Lichfield and Burton upon Trent.

ACCOMMODATION

Entrance door opening into the Hall

HALL

5'4" x 6'0" (1.64m x 1.85m)

Having doors to the kitchen and lounge, and obscure windows to the front and side

LOUNGE/DINER

17'5" x 12'10" (5.31m x 3.92m)

Having a large window to the front aspect, an attractive marble-style surround, inserts and a hearth having an electric fire inset. There is a coving to the ceiling, door to the inner lobby radiator and ceiling light point.

KITCHEN

9'3" x 10'4" (2.83m x 3.17m)

The kitchen has a window looking out to the front and a door giving access to the side patio. It has base cupboards, drawers, larder unit

where the domestic hot water and central heating boiler is housed, and wall cabinets. Worktops are inset with a four-ring gas hob and a one-and-a-quarter bowl stainless steel sink. There is space for a fridge, freezer and washing machine, a built-in oven, tiled splashbacks and a door through to the inner lobby

INNER LOBBY

It has a loft access point and storage cupboard ideal for hoovers and ironing boards.

BEDROOM ONE

13'2" x 10'10" (4.03m x 3.32m)

Having a window to the rear aspect with views over the garden and is fitted with a range of wardrobes and overhead cupboards

BEDROOM TWO

9'10".10'1'8" x 9'10" (3..31m x 3.02m)

Having a window looking out over the rear garden, radiator and ceiling light point.

DINING/STUDY/OCCAS BEDROOM & GARDEN ROOM

6'11" min 8'6" max x 17'7" (2.12m min 2.61m max x 5.38m)

This multifunctional room can be used as a study with a garden room off, a dining room with a garden room off or an occasional guest bedroom with its own little sitting area. A door leads out into the garden, a radiator, recessed ceiling lights and a ceiling light point.

SHOWER ROOM

8'2" into shower x 5'8" min 7'10" max (2.49 into shower x 1.74m min 2.41m max)

Equipped with a modern range of built-in vanity units incorporating a w.c and hand wash basin, and a separate walk-in shower. There are tiled surrounds, a radiator, an airing cupboard with a hot water tank, two windows to the side aspect and a ceiling light point.

OUTSIDE

FRONT

The bungalow has an impressive frontage with a large expanse of lawn with mature tree and shrub borders. A drive leads to a Garage and offers a parking space.

GARAGE

17'0" x 7'11" (5.19m x 2.43m)

It has an up-and-over door, power, light and outside. A door personal access door leads through to the rear.

Tel: 01283548194

SIDE

A gate from the front opens into a private side patio area, ideal as an entertaining space, with a rockery border adjoining the fenced boundary, a path leads through to the

REAR GARDEN

With a few steps leading up to the lawn with mature shrub borders and a door opening into a lean-to potting shed. From the potting shed, there is access to the garage via a personal access door.

CONDITION OF SALE

These particulars are thought to be materially correct though their accuracy is not guaranteed and they do not form part of a contract. All measurements are estimates. All electrical and gas appliances included in these particulars have not been tested. We would strongly recommend that any intending purchaser should arrange for them to be tested by an independent expert prior to purchasing. No warranty or guarantee is given nor implied against any fixtures and fittings included in these sales particulars.

CONSTRUCTION

Standard Brick Construction

COUNCIL TAX BAND

Derby City - Band C

CURRENT UTILITY SUPPLIERS

Gas - Scottish Power

Electric

Oil

Water - Mains

Sewage - Mains

Broadband supplier

FLOOD DEFENCE

We advise all potential buyers to ensure they have read the environmental website with regards to flood defence in the area.

<https://www.gov.uk/check-long-term-flood-risk>

<https://www.gov.uk/government/organisations/environment-agency>

<http://www.gov.uk/>

TENURE

FREEHOLD - Our client advises us that the property is freehold.

Should you proceed with the purchase of this property this must be verified by your solicitor.

BROAD BAND SPEEDS

<https://checker.ofcom.org.uk/en-gb/broadband-coverage>

VIEWING

Strictly by appointment through Scargill Mann & Co (ACB/JLW 05/2024)

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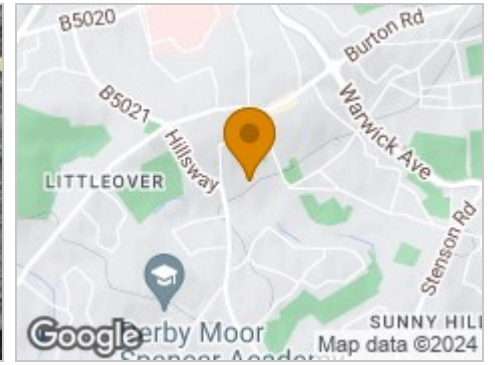
Road Map



Hybrid Map



Terrain Map



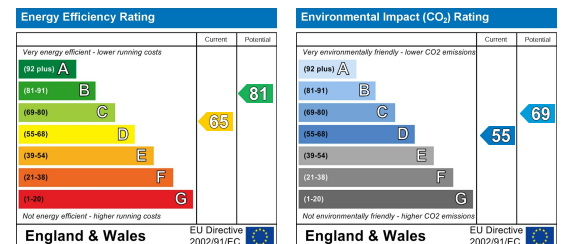
Floor Plan



Viewing

Please contact our Sales Office on 01283548194 if you wish to arrange a viewing appointment for this property or require further information.

Energy Efficiency Graph



These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.